



## RAVENSBOURNE ROAD, HAWKSLADE, AYLESBURY

PRICE £325,000

FREEHOLD

A charming two bedroom semi-detached home tucked away in a quiet cul-de-sac within the Hawkslade area, presented in fantastic order throughout. The property features a welcoming living room, a modern fitted kitchen, two double bedrooms and a stylish shower room. Outside, the landscaped rear garden provides an ideal space for relaxing, while the garage has been enhanced with a separate gym area. Further benefits include a driveway providing off-road parking.



# RAVENSBOURNE ROAD

- CHARMING TWO BEDROOM HOME • CUL-DE-SAC LOCATION • FANTASTIC ORDER THROUGHOUT • GARAGE AND DRIVEWAY • SOUTH WEST FACING GARDEN WITH POND • MODERN KITCHEN/DINER • TWO DOUBLE BEDROOMS • CLOSE TO SCHOOLS



## LOCATION

Situated on the southern outskirts of the town with good access towards London, High Wycombe and the M40. This well-regarded area is situated within walking distance of Stoke Mandeville Hospital and borders open countryside. There are two schools within short walking distance as-well as a community centre and convenience store on the estate.

## ACCOMMODATION

The property is entered via an entrance hall with stairs rising to the first floor. The bright and welcoming living room benefits from a useful storage and utility cupboard, housing the washing machine and dryer. The living room then flows through to a modern kitchen/diner, fitted with an inset gas hob, integrated oven and grill, fridge & dishwasher. There is space for a dining table and chairs, while doors open directly onto the rear garden.

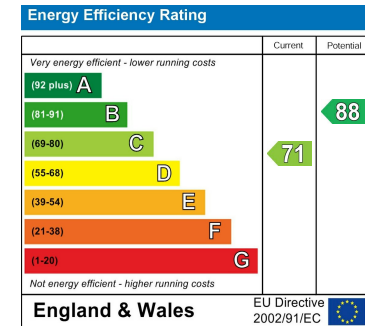
On the first floor, there is loft access, two double bedrooms, with bedroom one featuring custom fitted wardrobes, and a contemporary shower room comprising a walk-in shower, wash hand basin, WC, and heated towel rail.

Outside, the landscaped rear garden has been thoughtfully designed and enjoys a South Westerly aspect, multiple patio seating areas, lawn, pond, attractive planters, and a built-in seating area with

additional storage. A door leads to the converted office space currently being used as a gym with space located at the rear of the garage, while the front section of the garage remains practical storage space. The property also benefits from a driveway providing off-road parking.

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Agents Note: Whilst every care has been taken to prepare these particulars, they are for guidance purposes only. All measurements are approximate and are for general guidance purposes only and whilst every care has been taken to ensure their accuracy, they should not be relied upon and potential buyers/tenants are advised to recheck the measurements

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